

CLAY HILL NEIGHBORHOOD OVERLAY DISTRICT  
DESIGN GUIDELINES

Clay County Board of County Commissioners

2011



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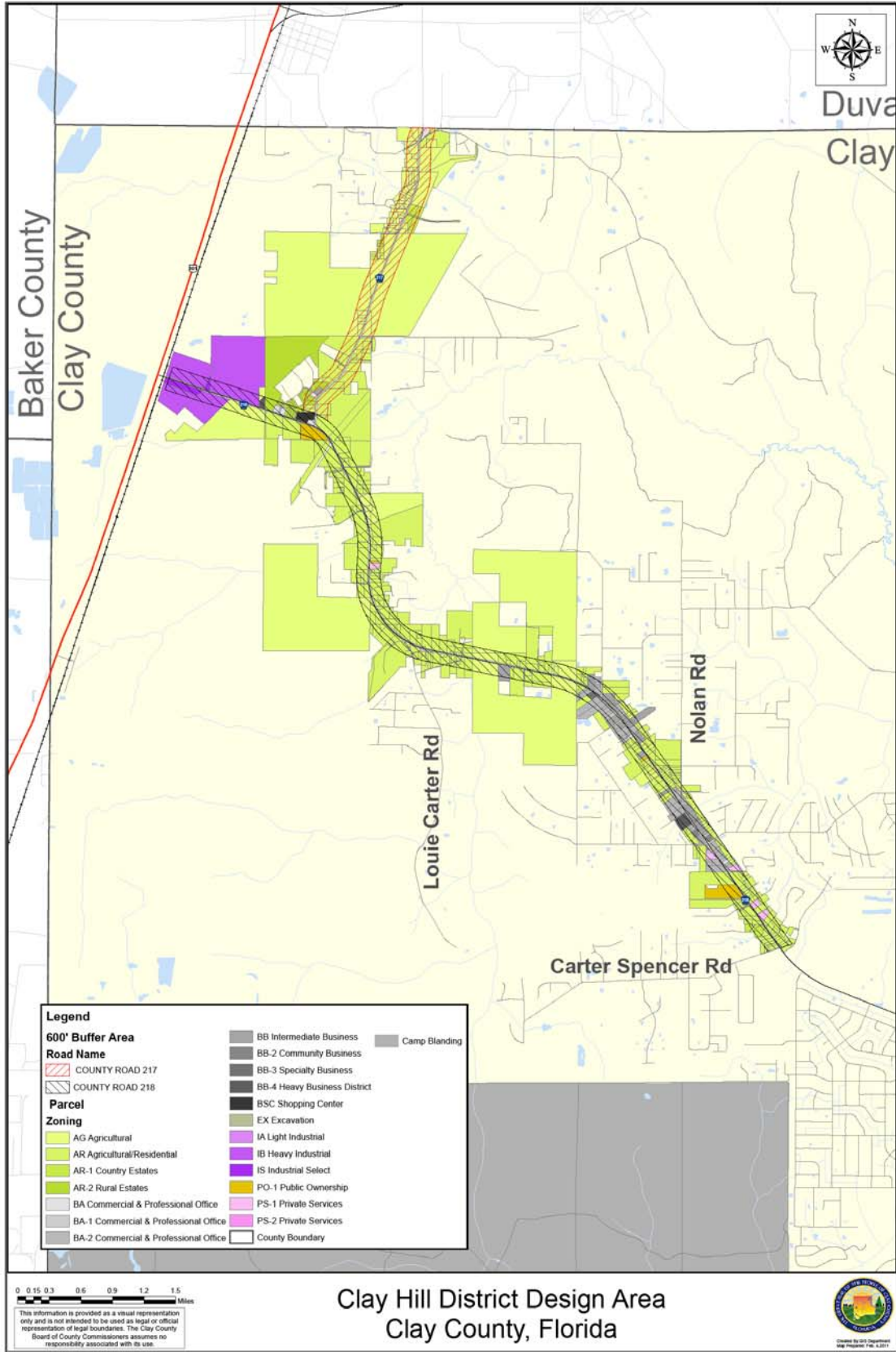
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## **Subject Area**

The Subject Area is County Road 218 from Carter Spencer Road to US 301 and CR 217 from CR 218 to the Duval County line, as shown below. The portion of all parcels, within 600 feet of these rights-of-way, is proposed for application of the overlay district. Properties within Residential, Agriculture and the Public Ownership zoning districts are not subject to following design guidelines. However, developers of any publically held property are encouraged to provide a courtesy review to the Clay Hill Community Association as early in the design process as possible.



## **Purpose**

To establish design standards for the visual and functional development of non-residential zoned property within the Clay Hill unincorporated area of Clay County, Florida.

## **Intent**

The Clay Hill Community Association has expressed the desire that the commercial areas in the unincorporated community of Clay Hill, located in northwestern Clay County, retain the rural character by encouraging a “rustic, Florida vernacular or cracker theme” in the design of new construction and expansion of retail, office, industrial and other non-residential developments in the overlay district. These architectural design standards are intended to maintain the character of the Clay Hill Community by addressing issues of style, scale, massing, building articulation, roof pitch, doors, windows and building orientation. They are intended to strengthen the identity of the Clay Hill neighborhood by reinforcing the rustic, rural character of the Clay Hill Community utilizing the Florida Vernacular Wooden Cracker Style and its successors, Key West and Greek Revival as the dominant style of the community. Additional strategies include standards for lighting, and signage. The adoption of such standards will improve the health, safety and welfare of the Clay Hill Neighborhood by providing a cohesive neighborhood design and streetscape.

## **Status Review**

Clay Hill is comprised of two rural areas, Clay Hill, located between Long Horn Road and US 301 and Duck Pond located between Carter Spencer Road and Long Horn Road. Jennings National Forest provides a natural break between the two communities. In both areas the primary historic activity has been lumber and turpentine. Wilkinson Elementary and Junior High Schools and Clay Hill Elementary School are located along CR 218 within the study area. Currently property along CR 218 is generally divided into smaller parcels. Neither area historically had a town center but there were at least two grocery store/gas stations, such as the Jim-Budd Store shown on the cover. This history suggests that a rustic/cracker/Florida vernacular style would be appropriate for infill commercial development and redevelopment in order to provide a more unified look to the community.

There has been increasing non-residential development of the area extending from unincorporated Middleburg. The character of the newer development has included warehouses and industrial uses, large gas station/convenience stores. The newer development has not enhanced the “rural community character” of Clay Hill. Some commercial sites are vacant and in disrepair, whereas others include scattered outdoor storage uses. This pattern is not consistent with a community that is generally formed around its three schools and places of religious assembly. Continued development along this pattern may result in typical “strip” development, with each independent parcel adopting a different design pattern and site layout, with out-of-scale signage and lighting. Such strip development does not give visual clues that the area is a rural residential community and often results in dangerous visual clutter to the driver, making the area unsafe for the residents and school children. CR 218 is currently a 2-lane major collector, linking the eastern part of the County to US 301. Within ten years,

CR 218 is expected to become a 4-lane facility, including sidewalks. This is the appropriate time to address the additional pressures on the Clay Hill neighborhood in order to encourage the needed growth in employment opportunities and the availability of goods and services, while preserving the health, safety and welfare and the rural community character of the neighborhood.

## **Definitions**

For the purpose of these guidelines the definitions of the Clay County Land Development Code shall apply and additionally the following words and terms are defined as follows:

- (a) Cornice—a horizontal molded projection that crowns or completes a building or wall. The cornice is the uppermost part of an entablature.
- (b) Dog-trot—the separation of additional rooms by an open-air corridor providing access to additions in the rear or to the side.
- (c) Double Pen—is two room cracker building.
- (d) Entablature—assemblage of horizontal moldings and bands supported by the columns of classical buildings. The entablature is usually divided into three main sections: the lowest band, or architrave, which originally took the form of a beam running from support to support; the central band, or frieze, consisting of an unmolded strip with or without ornament; and the top band, or cornice, constructed from a series of moldings, that project from the edge of the frieze. Most entablatures correspond to or are derived from the Doric, Ionic or Corinthian order.
- (e) Espalier—fruit tree or shrub that is trimmed to grow flat against a wall or on a trellis.
- (e) Expression line—a horizontal linear element extending across a façade evidenced as a noticeable difference of projection or recess, change of color or material, or identified as a clear architectural feature of ornamentation such as a cornice. The line is objective, its expression may vary significantly from building to building and in accordance with different architectural styles.
- (f) Pilaster—is a rectangular support that resembles a flat column. The pilaster projects only slightly from the wall, and has a base, a shaft, and a capital. Greek Revival buildings often have pilasters.
- (g) Saddlebag—additional rooms at the rear of the building with a side orientation for the porch.
- (h) String course—a projecting horizontal band on the exterior of a building marking the separation between floors or levels, also called belt course or horizontal course.
- (i) Snipe sign (bandit sign)—means any sign tacked, nailed, posted, pasted, glued or otherwise attached to trees, poles, stakes, or fences, with the message appearing thereon not applicable to the present use of the premises upon which the sign is located.
- (j) Transom—a shallow, rectangular window sash (fixed or hinged at top or bottom) located immediately above a door.

## **Implementation**

Developers within the Clay Hill Overlay District shall seek a pre-application conference with the Clay Hill Community Association for comment on proposed building elevations and design schemes as early in the process as possible. This review will provide the Community Association and residents the opportunity to ask questions and resolve issues with the developer prior to final design of the project. It will also allow the Clay Hill Neighborhood Association to be knowledgeable about the implementation of these design guidelines and enable evaluation and assessment. The proposed building elevations and design schemes, shall also be submitted to the County Department of Development Services.

The design review shall be incorporated into the Clay County Development Review Process. A copy of the application shall be forwarded to the Clay Hill Community for comment and Planning Staff shall consider CHCA's review comments. Elevations addressing and identifying the requirements of these guidelines, (front, rear and sides) shall be required for concept, preliminary and final plan review. Applications shall include building elevations drawn to scale and labeled. Sign elevations and placement shall also be included. For all development plans providing exterior lighting, the plan shall be certified by a registered architect or engineer, or lighting professional holding a current LC (lighting certification) from the National Council on Qualifications for the Lighting Profession (NCQLP). Plans shall indicate the location, height and types of lights (manufacturer's catalog cut, including make and model numbers and glare reduction/control devices), footcandle grid to illustrate light levels required, uniformity ratio, lamp wattage, shades, deflectors, beam direction, luminous area for each source of light and a statement of the proposed hours when the luminaries will be on and when they will be extinguished.

Existing developed uses within the overlay district shall comply with the requirements of the overlay district when the structure is expanded, or remodeled or renovated in excess of 50% of the structure's tax-assessed value. Any new building and site expansion areas involving non-residential use of new buildings, exterior lighting or signage shall be subject to these regulations and other applicable standards of the land development code.

To the extent this overlay district may conflict or may not be consistent with other applicable County laws, ordinances, rules or regulations, this overlay district shall govern and control. When the overlay district is silent on an issue that would otherwise be governed by other codes of the County, those codes shall prevail. To the extent that there is internal conflict, the stricter provisions shall prevail.

Questions of interpretation which do not involve specific and measurable standards may be appealed to the Planning Commission and Board of County Commissioners. Such an appeal may be filed within 45 days of the written issuance of interpretation by the Director of Planning and Zoning. The Director of Planning must schedule a public hearing within 21 days from receipt of the appeal. The appeal hearing shall be a quasi-judicial, de novo hearing and shall allow expert testimony. Public notice shall be no less than two columns by ten inches (1/8) page in size and shall be advertized in a newspaper of general circulation at least seven days prior to the hearing.

Any proposed major or substantial change in the approved project which affects the intent of the development or the application of these guidelines shall be reviewed by the staff consistent with the submittal requirements of the land development code and this overlay district. Minor changes in the building elevations consistent with the guidelines may be approved by the Director of Planning and Zoning.

A landowner may apply to the Board of Adjustment for a variance in accordance with the procedures and standards provided generally for variances under the Zoning Code. This procedure shall be allowed only for specific and measurable standards that the applicant contends to cause a hardship due to unique site characteristics.

## **Florida Vernacular Architectural Style**

Florida Vernacular architectural style is an unpretentious style found on farms and in rural communities, generally of wood construction. Commercial structures of the same era also included stone, brick and masonry. These buildings have a simple grace and beauty, and are particularly suited to the Florida climate. There are four vernacular styles that stand out in Florida: wooden Cracker; wooden Caribbean; masonry and stucco Mediterranean Revival; and masonry and stucco Modern. Among the four, the wooden Cracker style is the dominant in Clay Hill and is also chosen by the Clay Hill Community Association as a main style for the community characteristics.

A Cracker house is a wooden shelter built by the early Florida and Georgia settlers. Abundant supplies of cedar and cypress caused those usages as major building materials. Rocks or bricks made of oyster shell and lime served as pilings to keep the shelters off the ground. A wide shade porch, which is often wrapping around the entire house, provided relief from the Florida sun. Metal roofs were utilized. Since Georgian settlers started, the 'Cracker' style may include some of 'Georgian' and 'Greek Revival' style, which Georgian borrowed from the North. Later, the 'Cracker' style influenced Florida 'Key West' style. The Cracker, Key West and Greek Revival styles lacks arches, and is characterized by an uninterrupted eave line.

Modern interpretation of the Vernacular Style will therefore include Cracker style and a few altered materials of 'Georgian', 'Greek Revival', and 'Key West' styles.

## **Non-residential Architectural Design Standards**

All non-residential buildings and those accessory buildings shall meet the following architectural styles and requirements. Architectural elevations shall be submitted with minor and major development plans clearly depicting and labeling the architectural features required herein.

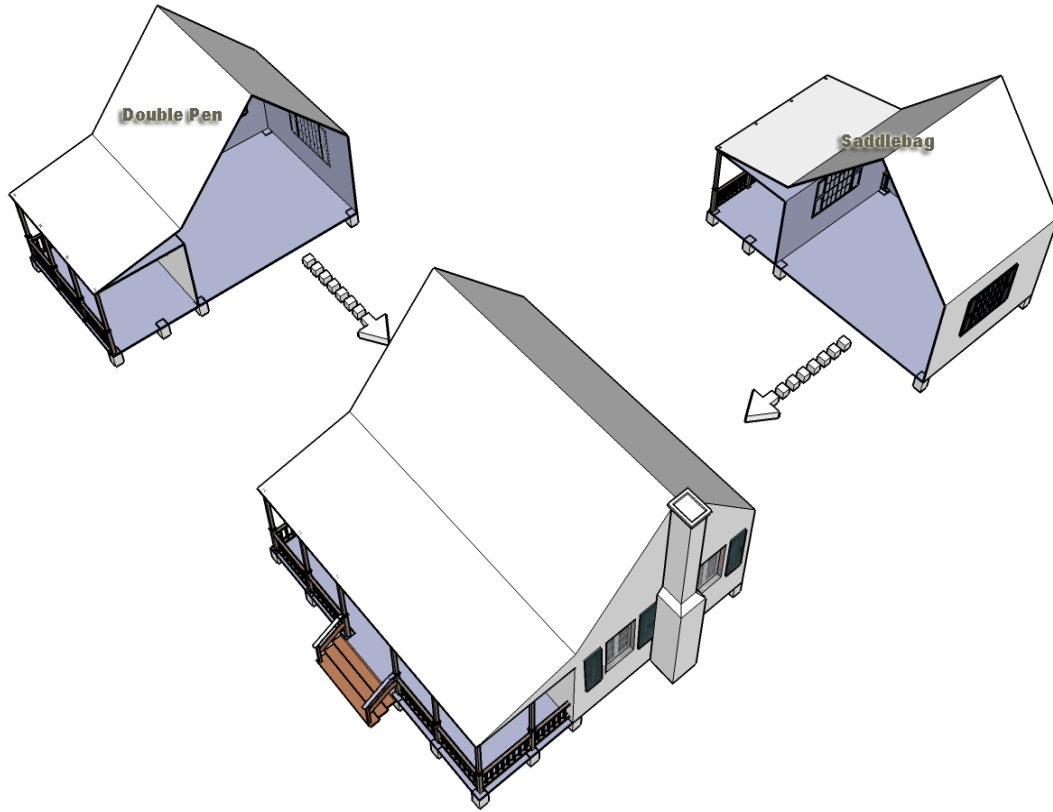
- (a) Architectural Style:
  - (1) Cracker Style shall be utilized for Non-Residential Buildings under 5,000 square feet.
    - (i) Cracker Style is characterized by high pitch roofs, raised floors, and large porch areas and it is required to meet the basic characteristics. If steps are not included, the first floor elevation should be raised 6 to 24 inches relative to public sidewalk elevation by site grading.



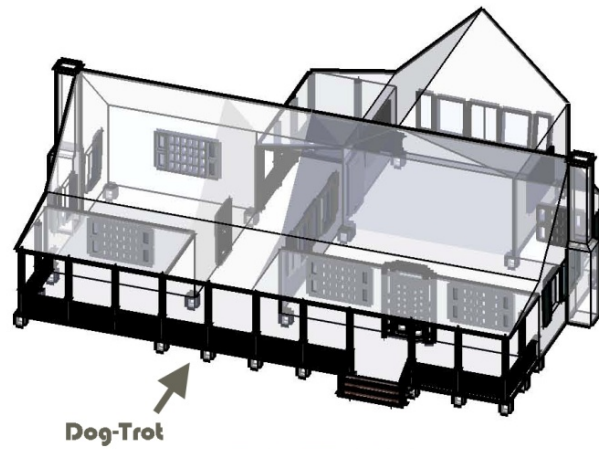


- (ii) Building mass shall be generally symmetrical. Of particular concern is the massing of the building as it presents to the public street.

- a. When buildings are larger than fifty (50) feet in width, they shall be indented or projected from the plane of the building at each increment of fifty feet by a minimum of twelve (12) inches. Double Pen, Saddlebag or those combinations shall be utilized.



- b. When buildings are larger than one-hundred (100) feet in width, they shall have a plane of the building interrupted by a dog-trot or an indented doorway feature that mimics a dog-trot.



- c. Blank wall areas shall not exceed ten (10) feet in vertical direction nor ten (10) feet in horizontal directions of any building façade, unless the County approves the use of landscaping as an alternative to the inclusion of wall area architectural design elements. The use of vines (whether espalier or on trellis/lattice), and hanging potted flowers or other ornamental plants is strongly encouraged for this purpose.



Interpretation of Dog-Trot

(iii) Required Articulation:

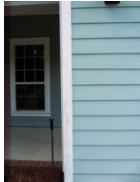



- a. Porch balustrade of wooden spindles or board or similar materials in quality and durability to the materials previously mentioned; or
- b. Covered porch with wood, stucco, brick or stone supports or similar materials in quality and durability to the materials previously mentioned; and
- c. Artistic shutter design: louvered, stencils, or cut-outs; or
- d. painted window and corner trim, when accompanied by clapboard, board and batten or wood shingle exterior.

Articulation as applied to each building shall be consistent with the Florida Vernacular Style.

		
Porch Balustrade of Wooden Spindles	Covered Porch	Louvered Shutters
		
Raised Floor	Shutters with Cut-out Design	Painted Window and Corner Trim

(iv) Exterior Siding Materials:

Exterior materials shall be horizontal clapboard, vertical board and batten wood siding, brick, stucco, stone or similar materials in appearance and durability to the materials previously named. Glass walls, unfinished concrete block, split face block, untextured tilt-up concrete panels and metal siding shall not be permitted.

		
Horizontal Clapboard	Shake Materials	Board and Batten
		
Brick	Stucco	Stone (example)

(v) Roof Design and Materials:

- a. Roof style shall be primarily gable or hip, with a minimum slope of 4:12.

b. Pitched roof materials shall be Shingles (architectural style,) shake, or metal. If metal roof is utilized, metal (painted or galvalume) 5 V or 16 inch pattern narrow standing seam, or shake materials shall be incorporated. Roof colors shall be consistent with these district regulations.

		
<u>Hip Roof</u>	<u>Pitched Roof</u>	<u>Gable</u>
		
<u>Architectural Shingles</u>	<u>Standing Seam</u>	<u>Shake Materials</u>

(vi) Gutters:

Gutters and downspouts shall have a metal finish or painted finish to be compatible with the roof or building.

(vii) Doors and Entrances:

Doors, entrances, and windows shall be proportioned to reflect the height of an average person and to encourage interest at the street level. Entrances shall feature ground floor covered entries with roof overhangs. Doors and entrances shall be consistent and symmetrical with gables above. Door and railing systems around porches shall not have a metal appearance or color. The porches shall be supported by wooden posts or brick or stone columns, or a good simulation of natural materials. Doors shall face the street, or be located at street-front corner of buildings, when coupled with a wrap-around porch.



(viii) Windows:

- a. Windows shall appear as double hung or single-hung and vertically proportioned, with a minimum of 1.5 feet of vertical height for every one foot of horizontal width. Secondary windows situated on the sides or rear of the building or in a clerestory, gables or dormers may be square. Windows should be separated from corners by one-window width. Windows shall have shutters that shall be appropriately scaled to the window so as to appear operable. Windows shall be framed with wood or good quality materials simulating wood. Windows shall not be reflective nor have dark tinting and aluminum or anodized aluminum metal framing.
- b. Store-front windows:
  1. Storefronts shall have a bulk-head of wood, brick, stucco, stone or good simulation of natural materials and shall have a minimum height of 2 feet. No glass shall be butt-joined. Window systems shall not appear aluminum. No commercial frontage shall be entirely glass.
  2. The street level of each commercial façade shall provide windows between the height of 2 feet and 8 feet in height from the raised porch. Retail uses shall have no less than 50% of the horizontal length of the building façade for each store as window area.



(ix) Building Height

Maximum building height shall be 35 feet, measured to the highest eave. The first floor elevation may be 16 feet, floor to ceiling. The Cracker building type is typically a one-story structure. Multiple stories will include Key West or Greek Revival features, described below.

(x) Colors

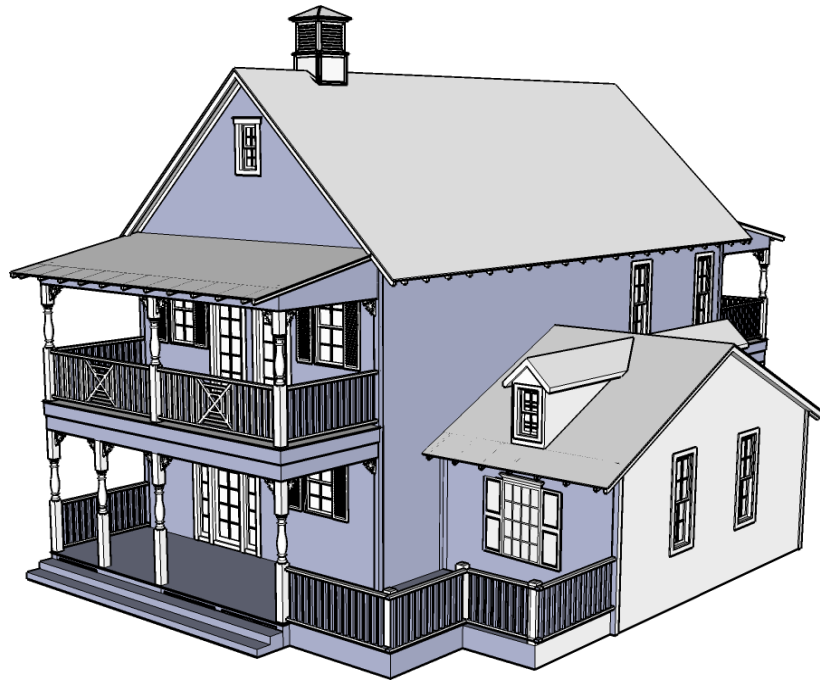
Natural earth-tone, neutral, muted colors and traditional colors such as white, light blues, browns, tans and grays shall be used. Prohibited colors include black as a predominance exterior building color and no monochromatic color schemes. Building trim and detail colors must be harmonious. Exterior painting not reflect non-architectural patterns such as, but not limited to, camouflage, animals, or sports teams.

(2) Cracker and Key West styles shall be utilized for Commercial and Office Buildings over 5,000 square feet and under 40,000 square feet.

(i) All requirements for ‘Non-Residential Buildings under 5,000 square feet’ shall be met except the first-floor porch balustrades and raised floors.

(ii) Additional Requirements in Building Articulation:

a. Additional architectural treatments from the Key West style, especially dormers and cupolas shall be provided where gable/hip roof or a simulated gable/hip roof is utilized.



b. Options to replace dormers or cupolas include a roof, with louvered “clipped gables”; fish-scale wooden siding or cedar shake siding, particularly on roof gables; and a wrap-around porch area. Dormer proportions shall be 2 to 2-1/2 times taller than they are wide. Dormers shall have symmetrical gables, hips or shed roofs. Dormers generally have more informal eave detail. Dormers may be setback within the roof mass or partially engaged with an exterior wall. Dormers should only be as big as the openings they allow.



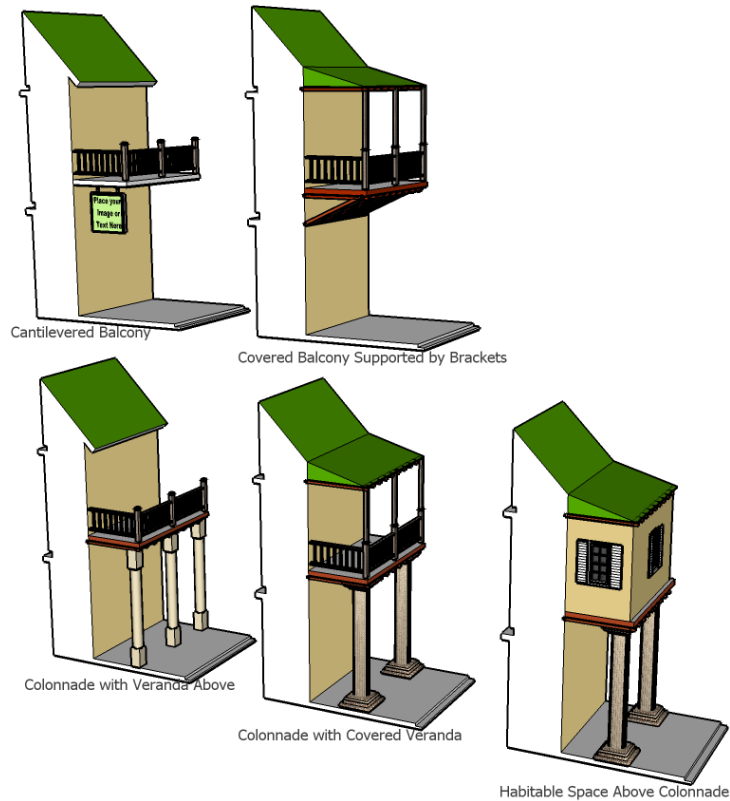
- c. Articulation as applied to each building shall be consistent with the Florida Vernacular Style.

		
Dormers	Cupola	Clipped Gable
		
Fish Scale Shingles	Cedar Shake Siding	Wrap-Around Porch
		
Colonnade	Bracket supported balcony	Key West Style Kiosk

- (iii) Flat roofs may be permitted with the following requirements:
- a. All facades which are clearly visible from areas within the property accessible to the public, from adjacent properties, and from public rights of way shall appear to have pitched roof elements that simulate a hip roof. Pitched roof elements shall have a minimum depth of 10 percent of the building depth.
  - b. Combination of pitched and flat roofs as needed to enclose roof-top equipment.
  - c. Minimum 6 inch high cornice treatments or exposed functional or non-functional rafters with overhangs are required.
- (iv) Colonnades and balconies are encouraged on multistory buildings. They can provide both visual rhythm on the front of buildings and protection from the weather for windows and doors below. Balconies shall not be enclosed with

screening, but may be roofed. Balconies shall have the following minimum proportions:

- Depth: 6 ft. minimum for 2<sup>nd</sup> floor balcony above colonnade.
- Depth: 3 ft. minimum for bracket-supported or cantilevered balcony.
- Height: 10 ft. minimum clear from the first floor elevation to the balcony.
- Length: 50% to 100 % of Building Front, or 25% if corner balcony provided.



(v) Building Height

Maximum building height shall be 35 feet, measured to the highest eave. The first floor elevation may be 16 feet, floor to ceiling. An expression line or string course shall be used to differentiate each floor, except where awnings, balconies or colonnades provide that articulation. The expression lines shall be a molding or jog in the surface of the plane of the building wall greater than 4 inches.

(vi) Colors

In addition to natural earth-tone, neutral, muted colors and traditional colors such as white, light blues, browns, tans, and grays are to be used. No bright, electric or florescent colors shall be used. Prohibited colors include black as a predominant exterior building color and monochromatic color schemes. Building trim and detail colors must be harmonious. Exterior painting shall not reflect non-architectural patterns such as, but not limited to, camouflage, animals, or sports teams.

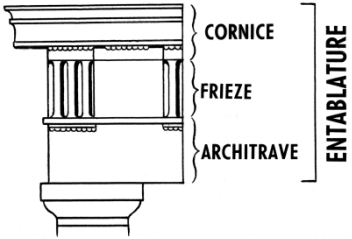
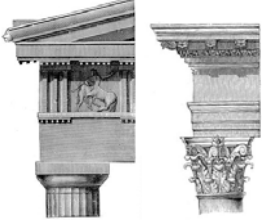
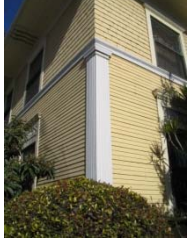
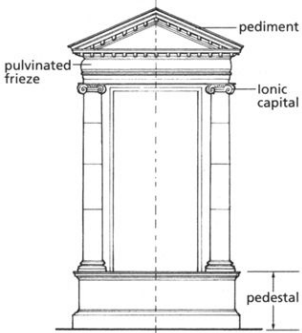







(3) Cracker, Key West, and Greek Revival styles shall be utilized for Commercial and Office Buildings over 40,000 square feet.

- (i) Structures over 40,000 square feet in size, regardless of the number of tenants or users, shall be designed to maintain a human scale.
- (ii) All requirements for Commercial and Office Buildings over 5,000 square feet and under 40,000 square feet shall be met.
- (iii) Additional Requirements in Building Articulation:

Additional architectural treatments from the Greek Revival style shall be added: classical entablature; pilasters or paneled trim at the building corners; flat-roofed entry porches supported by round or square columns; and door surrounds that include a rectangular transom and sidelights shall be added.



Greek Revival, Green Cove Springs

 <p>CORNICE FRIEZE ARCHITRAVE</p> <p>ENTABLATURE</p>		
<p>Classical Entablature</p>	<p>Entablature (examples)</p>	<p>Building Corner Trim</p>
 <p>pediment pulvinated frieze Ionic capital pedestal</p>		
<p>Roofed-Entry Porch</p>	<p>Rectangular Transom</p>	<p>Modest Greek Revival</p>
		
<p>Bracket Supported Roofed Entry</p>	<p>Pediment with Cornice and Cornice Molding</p>	<p>Flat Roof and Pitched Roof Combination</p>
		
<p>Greek Revival</p>	<p>Key West Interpretation</p>	<p>Greek Revival Interpretation (with Solar Panels)</p>

- (iv) Required Building Mass:
- a. Building mass shall vary by height and width so that it appears to be divided into distinct massing elements, as follows:
    1. Building shall have a minimum of one indention or projection in the plane of building per façade length that is visible from areas within the property accessible by the public, from adjacent properties, and from the public rights-of-way.
    2. The average length between indentions or projections shall be 75 feet, or 100 feet along arcaded facades.
    3. Indentions or projections shall have a minimum depth of five percent of the façade length. For example, a structure that is 100 ft. long shall have offsets that are a minimum of 5 feet in depth.
    4. Pilasters, columns and enclosed downspouts shall not be considered offsets for the purposes of this subsection unless they meet the minimum depth requirements as listed above.
  - b. All customer entrances shall have awnings, covered porches or arcades to protect customers entering and exiting from inclement weather. Multi-tenant buildings or buildings with more than one entrance shall have a continuous arcade or colonnade connecting each entrance. The arcade shall be functional, without interruptions, and shall have a minimum depth of 10 feet. Canopies and awnings shall be rectangular in shape and attain a slope consistent with the roof structure. Barrel or rounded canopies or awnings shall not be permitted. Awnings and canopies shall be a minimum of 10 feet above the sidewalk.
  - c. Exterior features shall be used which create the impression of a pedestrian friendly streetscape. Such features shall serve to keep the focus of the pedestrian more or less at eye level by creating a human-scale visual frame. This shall be accomplished by visually separating the ground floor/story from the upper portions of the building, regardless of the actual number of stories. Such features may include a combination of awnings, colonnades or arcades, and a change in material, color, and/or window placement between the ground floor and upper floors, separated by an expression line or string course. The building wall shall be completed with a cornice of significant three-dimensional relief.
  - d. Developments of this size shall have Liner Buildings or out parcel development along the frontage along US 301, CR 218 and CR 217 at the front setback line. These smaller buildings are intended to obscure the parking requirements and size of the dominant use. Such liner buildings or out parcels shall be developed as part of the 40,000 square ft. development, but maintain the massing dimensions in paragraph (1) a through c of this section, as well as the other

requirements of this overlay district, so that the street frontage is consistent with the smaller development pattern of the neighborhood.

- (4) Industrial Building Structures over 5,000 square feet
- (i) Metal building design for industrial buildings can be attractive and fit in within the context of its surroundings if building form is well articulated and surfaces are judiciously mixed in with other materials, or textures, and colors.
- a. For buildings that are visible from ROWs, building features such as columns, intentional deep reveals at construction joints or other details shall be incorporated into building design to add interest into the architectural design.
  - b. Windows shall particularly be incorporated along the street front elevation(s), which is visible from, to help metal buildings incorporate human scale design elements that address the building to the street. Windows shall incorporate changes in building plane by either recessing or projecting them as integral parts of the overall design. Details required around windows including change in relief, color, pattern, and/or materials.
  - c. Unless downspouts are a legitimate part of the architectural design and details, they shall be concealed, or if they are part of the design, they shall be coated to be compatible with the wall color. Freestanding outbuildings shall use forms, shapes and materials that are consistent with the main structure.
  - d. Entries shall incorporate overhangs, recessed openings, canopies or other features to emphasize the entrance area. Utility doors, fire system standpipes and valves, loading docks, etc. shall be concealed or blended in with the architectural design. Canopies and awnings shall be rectangular in shape and attain a slope consistent with the roof structure. Barrel or rounded canopies or awnings shall not be permitted. Awnings and canopies shall be a minimum of 10 feet above the sidewalk.
  - e. Overall the design shall appreciate Florida Vernacular Style.
- (ii) Exterior Siding Materials:
- a. In industrial zoning districts, however, structures may have exposed metal for 100 percent of side and rear elevations and 25 percent of the front elevation.
    - 1. Long, stark, and uninterrupted panels used for metal buildings or use of panels with continuous vertical seams shall be avoided.

2. Other building materials or metals that simulate other materials shall be incorporated into structural design to add contrast, variety, and visual interest in building form.
3. Wall systems shall use techniques that hide or disguise wall fastening systems and seams.

(b) General Requirements

- (1) All storage shall be located within fully enclosed structures. In those zoning districts that allow outdoor storage or display, such outdoor storage and display shall be screened. (See Landscape Requirements in the LDR)
- (2) The following shall be located in rear or side yards, not facing streets, and shall be screened by landscaping from view from any street:
  - (i) Window and wall air conditioners
  - (ii) Electric Utility Meters
  - (iii) Air Conditioning Compressors, and
  - (iv) Irrigation pumps, pool pumps, back-flow preventers
- (3) The following shall be located in rear yards only:
  - (i) Antennas
  - (ii) Permanent Barbeques
- (4) The following shall not be permitted:
  - (i) Vending machine visible from any property line;
  - (ii) Reflective or bronze tinted glass;
  - (iii) Backlit or glossy finished awnings.
- (5) Where handicapped ramps are necessary they should be of the same materials and colors of other porch features, and placed on the site in a manner to compliment porches and principal entrance stairways.
- (6) Dumpsters and recycling bins shall be screened by a 6 foot opaque fence or wall, and landscaped with shrubbery, having a minimum height of 25 inches at installation. Dumpster enclosures and any other accessory buildings shall be painted to match the principal structure. Dumpster enclosures shall be oriented on the site so that the open side does not face CR 218 or CR 217 or any pedestrian traffic. If gates are provided, they shall be kept closed. Dumpsters shall be screened from any adjacent residential use.

(c) Additional Requirements

*Motor Fuel and Service Station Canopies*

- (1) This paragraph is intended to insure that canopies associated with convenience stores and motor fuel service stations are designed in a manner that does not visually dominate the site as compared to the principal structure. Such canopies shall meet the following design criteria:

- (i) Architectural design shall be consistent with the principal structure in terms of style, roofline, colors, materials and finishes.
  - (ii) The columns must be of sufficient width so as to appear structural in proportion to the canopy, as consistent with the design of the principal structure.
  - (iii) Bollards must be painted to match or be compatible with the color of the canopy and the principal structure.
  - (iv) Signage on the pump island canopy shall be prohibited, including striping with corporate brand colors. In addition, panels removed from signs on existing canopies cannot be replaced.
  - (v) The maximum clearance between the pavement and the canopy ceiling shall be 14.5 feet.
  - (vi) The maximum height of the canopy shall be no greater than that of the principal structure.
  - (vii) The maximum total canopy area shall not be more than 25% greater than that of the principal structure.
- (2) Open Bays or Outside Service Area:
- Structures that feature open bays or service areas, such as car washes, motor vehicle service stations, and office/warehouses, shall be oriented on a site in such a fashion that the open bays do not face US 301, CR 218 or CR 217. Facility site design shall utilize landscaping to help screen open bays from local public rights-of-way. Service areas that are not inside an enclosed building shall be screened through similar means.
- (3) Drive-through facilities:
- (i) Drive-through facilities shall be defined to include banking facilities, payment windows, car-service restaurants, food pick up windows, dry cleaning, express mail services and other services that are extended mechanically or personally to customers who do not exit their vehicles. The following uses are not considered drive-throughs: auto fuel pumps and depositories which involve no immediate exchange or dispersal to the customer, such as mail boxes, library book depositories, and recycling facilities.
  - (ii) The following review standards shall apply to drive-throughs:
    - a. Maximization of pedestrian and bicycle safety and convenience;
    - b. Adequate queuing space for vehicles such that there is no back-up of traffic onto adjacent roadways;
    - c. Provision of by-pass lane or sufficient driveway area around the drive-thought lanes to assist internal vehicular circulation;
    - d. Minimization of the visibility of the drive-through lanes on street frontage areas.
    - e. Design of access points and ingress/egress directional flows to minimize impacts on the roadway and non-motorized traffic.



## Illumination

- (a) All exterior lights and illuminated signs shall be designed, located, installed and directed in such a manner as to prevent objectionable light trespass and glare across the property lines and/or disability glare at any location on or off the property. The “maintained horizontal luminance recommendation” set by the Illuminating Engineers Society of North America (IESNA) shall be observed. See “Lighting Table” below:

Lighting Tables

Levels of Activity	General Parking Lot and Pedestrian Lighting		
	Average Light Level--not to exceed Foot-candles)	Minimum Light Level (foot-candles)	Uniformity Ratio
High	3.6	0.9	4:1
Medium	2.4	0.6	4:1
Low	0.8	0.2	4:1

High –Civic/Recreational Fields, Fast Food, Gas/Convenience Stores

Medium—Shopping Centers, Office Parks, Hospital Parking, Transportation Parking, Residential Complex Parking

Low –Industrial Employee Parking, Storage Parking

- (b) Foot-candle Intensities: Foot-candle (f.c.) intensities specified in this article shall be maintained values calculated using a maintenance factor (m.f.) not lower than 72% of the original intensity.
- (c) Light Fixture Types: All light fixtures, including security lighting, shall be full cut-off fixtures, and shall be incorporated as an integral design element that complements the design of the building or project through style, material or color.
- (d) Building Lighting: Lighting of or on buildings shall be limited to wall-washer type fixtures, which do not produce spill light or glare. A cut-off fixture shall not have more than one percent (1%) of lamp lumens above horizontal. Sag lenses, convex lenses, drop lenses shall be prohibited. Lighting at a building or project shall not be comprised in whole or part by of any floodlights, except floodlights may be permitted with a non-commercial industrial use, provided the floodlights are shielded to meet cut-off standards.
- (e) Illumination Levels: Illumination levels at the property line of the building or project is located next to any residential use, and shall not be more than 0.5 f.c. at any point on the lot line when the building or project is located next to any residential use, and shall not be more than 1.0 f.c. when located next to any other use. To avoid glare or spill light from encroaching onto adjacent properties, illumination shall be installed with house side shields and reflectors, and shall be maintained in such a manner as to confine light rays to the premises of the building or project.
- (f) Time Controls: Non-residential lighting shall be installed with time controls so that light levels are reduced not later than one hour after the close of operations to the minimum levels needed under the IESNA to ensure safety and security (approximately a 50% reduction).

- (g) Upgrade or Replacement: When fifty percent (50%) or more of any component (e.g.) luminaries, poles) of the exterior lighting system at a building or project is upgraded or changed or replaced (not including regular maintenance), such component for the remainder of the exterior lighting shall be brought into substantial compliance with the requirements of this article.
- (h) Height: Light fixtures shall not exceed 30 feet in height in parking areas and other parts of the site. Along sidewalks and parking lot pedestrian corridors light fixtures may not exceed 12 feet in height, unless otherwise required by FDOT.
- (i) Lighting of Gas Station/Convenience Store Aprons and Canopies: All of the above standards shall apply for gas stations/convenience stores, as well as the following standards:
  - (1) Lighting levels on gas station/convenience store aprons and under canopies shall be adequate to facilitate the activities taking place in such locations. Lighting of such areas shall not be used to attract attention to the businesses;
  - (2) Areas on the apron away from the gasoline pump islands used for parking or vehicle storage shall be illuminated in accordance with the requirements for parking areas set forth elsewhere in this section. If no gasoline pumps are provided, the entire apron shall be treated as a parking area;
  - (3) Areas around the pump islands and under canopies shall be illuminated in accordance with the lighting table; and
  - (4) Light fixtures mounted on canopies shall be recessed so that the lens cover is recessed or flush with the bottom surface (ceiling) of the canopy and/or shielded by the fixture or the edge of the canopy so that light is restrained to no more than 85 degrees from vertical.
- (j) Temporary Lighting. Temporary (3 months) Holiday lighting during the months of November, December and January shall be exempt from the provisions of this section, provided that such lighting does not create dangerous glare on adjacent streets or properties.

## **Signs**

### (a) Shopping Center Signs

Monument signs shall be allowed at each entrance to shopping centers. Allowable sign size shall be 50 square feet, exceeding this figure when a calculation of one square foot per 1,000 square feet of building area allows. Sign size shall not exceed 150 square feet, and sign height shall not exceed 8 feet, with architectural features of the sign not to exceed 12 feet in height. Pole and pylon signs are prohibited. Monument signs may be externally illuminated and shall be designed such that all means of support are concealed. Street numbers shall be placed on signs at a minimum letter height of 3 ½ inches or 10% of sign face height.

### (b) Awning Signs:

One awning sign per occupancy may be permitted subject to the following:

- (1) The area of copy shall not exceed one square foot per linear foot of, awning front and sides or a maximum of 75 square feet, front and sides.
- (2) No awning sign shall be less than nine feet above the ground immediately below it.

- (3) Copy may be installed above or on the face of the awning, provided that the copy area of a sign installed above or on the awning be computed on the total of the sign face and awning apron.
- (4) Signs attached to the underside of an awning shall have a copy area no greater than six square feet.
- (c) Projecting signs: Retail uses may also have projecting signs on buildings. Such signs shall not project more than four feet from the wall and shall not be more than three feet high. Such signs shall be mounted on second floor facades, or if there is no second floor, at least 10 feet above the sidewalk, located above awnings.
- (d) Freestanding Retail, Office and Industrial Signs: Monument signs are allowed. Allowable sign size is fifty (50) square feet, exceeding this figure when a calculation of one square foot per five linear feet of lot frontage allows. Such signs shall be a maximum of seventy-five (75) square feet and a maximum height of ten (10) feet. Signs shall be located in an area that is between five (5) and twenty (20) feet from the right-of-way. One freestanding sign per parcel is allowed for the primary street frontage, as indicated by the orientation of the main entrance of the building.
- (e) Office/Industrial Park/Complex Uses: Freestanding monument signs are allowed. Size of signs is calculated at a rate of one square foot per 1,000 square feet of building area, beyond a base of 50 square feet. Maximum sign size is 150 feet and maximum sign size is 150 feet and maximum height is 15 feet.
- (f) Sign Illumination: Any external above-ground light source shall be located and hidden within a planter bed. Light sources located outside the planter bed shall be in a burial fixture. Sign lights shall be focused, directed and so arranged as to prevent glare or direct illumination or traffic hazard from said lights onto residential districts or onto the abutting roadways. No flashing or pulsating or electronic message lights shall be permitted on any sign.
- (g) Wall Signs: Wall signs are allowed for commercial, office and industrial buildings. Maximum sign area shall be determined by multiplying the occupancy front foot (linear footage) by 1.5 feet. The maximum sign vertical dimension shall not exceed twenty (20) percent of the building height. In the case of multi-use buildings with individual frontages, these standards shall apply to each portion of the building occupied by a use. Total wall sign size may not exceed 325 square feet.
- (h) Prohibited Signs:
  - (1) Pole or Pylon signs
  - (2) Billboards and off-premises signs.
  - (3) Flashing or revolving signs, except for barber poles;
  - (4) Roof signs;
  - (5) Snipe signs (bandit signs);
  - (6) Any sign suspended between poles and illuminated by a series of lights. Any sign erected on a tree or utility pole, or painted or drawn on a rock or other natural feature,
  - (7) Any sign suspended between poles which is either a pennant or a spinner;
  - (8) Signs which contain, include, or are illuminated by any flashing, intermittent, or moving light or lights except for those giving public service information such as time, date, temperature, weather or similar information.

(i) Sign landscaping:

All monument signs shall include a minimum 36 inch wide landscape strip around the base (foundation) of the sign. The landscape strip shall be planted with materials that attain a minimum height of 15 inches and maximum height of 30 inches above the finished grade.

## **Screening and Fencing**

- (a) If chain-link fencing or stockade fencing or concrete block wall is used along a street edge, a continuous hedge, attaining the same height and minimum 75% opacity, shall also be planted on the outside of the fence.
- (b) When a screening is required, a hedge or landscaped berm shall be a minimum 3 ft. in height at the time of planting and shall attain a height of 6 feet within 3 years. Hedge and berm plant material shall have opacity of minimum 85%.

## **Outdoor Storage, Display and Activity**

Large objects such as utility sheds, boats, large equipment, building and construction materials, rock, sand, stone and mulch shall be screened from adjacent rights-of-way and properties using the following standards:

- (a) The landscaped buffer area shall be at least 15 feet wide.
- (b) Three (3) canopy trees and three (3) understory trees shall be planted to achieve tree canopy along streets for each 100 linear feet of fraction thereof, and arranged so that the trees are distributed along the distance. Tree size and species shall be consistent with the Landscape and Tree Protection Ordinance, Article VI. Where canopy trees would conflict with overhead utilities, two understory trees shall be required in lieu of each required canopy tree, and shall be distributed along the distance.
- (c) A 6 foot hedge that is maintained between 30-48 inches in height above grade shall be planted. Hedge material shall be a minimum of 24 inches in height at the time of planting, and spaced no more than 36 inches on center and maintained so as to form a continuous visual screen.

## **Utilities**

New development shall place utilities underground.